

RUSH
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Turkey Farm St. Marys Lane, Bexhill-On-Sea, East Sussex TN39 5JE
Guide Price £585,000 Freehold

This property offers endless possibilities for outdoor activities or simply enjoying the tranquillity of nature. The gated entrance provides security and privacy. This unique opportunity offers a delightful countryside retreat, with the main residence boasting three bedrooms, modern kitchen/breakfast room, living room, utility room, bathroom. Whether you're looking for a peaceful countryside escape, this property offers the best of the best. Don't miss the opportunity to make this idyllic retreat your own.

Viewing comes highly recommended by Rush, Witt & Wilson.



Reception Hall

22'4 x 13'6 (6.81m x 4.11m)

Triple glazed front door, range of fitted storage cupboards with sliding doors, hanging space and additional shelving above, stairs leading to first floor, recessed ceiling spotlights, space for dining, double doors leading to:

Living Room

25'7 x 14'2 (7.80m x 4.32m)

Dual aspect with triple glazed windows to the side elevation, triple glazed bi-folding doors leading out onto the decking area, inglenook fireplace with wood beam, log burning stove, roll top radiator.

Kitchen/Breakfast Room

18'7 x 14'4 (5.66m x 4.37m)

Modern fitted kitchen comprising matching wall and base level units with stone straight edge worktop surfaces, butler sink with drainer and mixer tap, AGA, space for freestanding fridge and freezer, integrated washing dishwasher, integrated Neff oven, breakfast bar, two ring electric hob, recessed ceiling spotlights.

Utility Area

Space and plumbing for washing machine and tumble dryer.

Shower Room

With modern suite comprising wc with low level flush, floating wash hand basin with mixer tap, walk in shower cubicle with wall mounted shower controls, chrome shower attachment and chrome showerhead, chrome heated towel rail, triple glazed windows to the rear elevation.

First Floor**Landing**

With access to roof space via loft hatch.

Bedroom One

15'2 x 14'8 (4.62m x 4.47m)

Dual aspect with triple glazed windows to the front and side elevations, double radiator, built in wardrobe cupboards with sliding doors, hanging space and shelving.

Bedroom Two

17'7 x 11'5 (5.36m x 3.48m)

Triple glazed windows to the front elevation, roll top radiator.

Bedroom Three

13'1 x 9'6 (3.99m x 2.90m)

Triple glazed windows to the front elevation, fitted wardrobe with hanging space and additional storage above.

Bathroom

Modern fitted bespoke fitted bathroom comprising wc with low level flush, large jacuzzi bath with brass wall mounted shower controls, shower attachment and showerhead, tiled walls, tiled floor, floating wash hand basin with mixer tap, triple glazed windows overlooking the rear elevation with stunning views over adjoining countryside, chrome heated towel rail.

Outside**Front Approach**

Electrically operated gated entrance leading to driveway, providing extensive off road parking for multiple vehicles.

Private Gardens

Formal walled gardens, lawned areas. surrounded by countryside, various patio and seating areas, plenty of space available for entertaining, enclosed and secure.

Agents Note

Council Tax Band - F

Fixtures and fittings: A list of the fitted carpets, curtains, light fittings and other items fixed to the property which are included in the sale (or may be available by separate negotiation) will be provided by the Seller's Solicitors.

Important Notice:

1. **Particulars:** These particulars are not an offer or contract, nor part of one. You should not rely on statements by Rush, Witt & Wilson in the particulars or by word of mouth or in writing ("information") as being factually accurate about the property, its condition or its value. Neither Rush, Witt & Wilson nor any joint agent has any authority to make any representations about the property, and accordingly any information given is entirely without responsibility on the part of the agents, seller(s) or lessor(s).

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3. **Regulations etc:** Any reference to alterations to, or use of, any part of the property does not mean that any necessary planning, building regulations or other consent has been obtained. A buyer or lessee must find out by inspection or in other ways that these matters have been properly dealt with and that all information is correct.

4. **VAT:** The VAT position relating to the property may change without notice.

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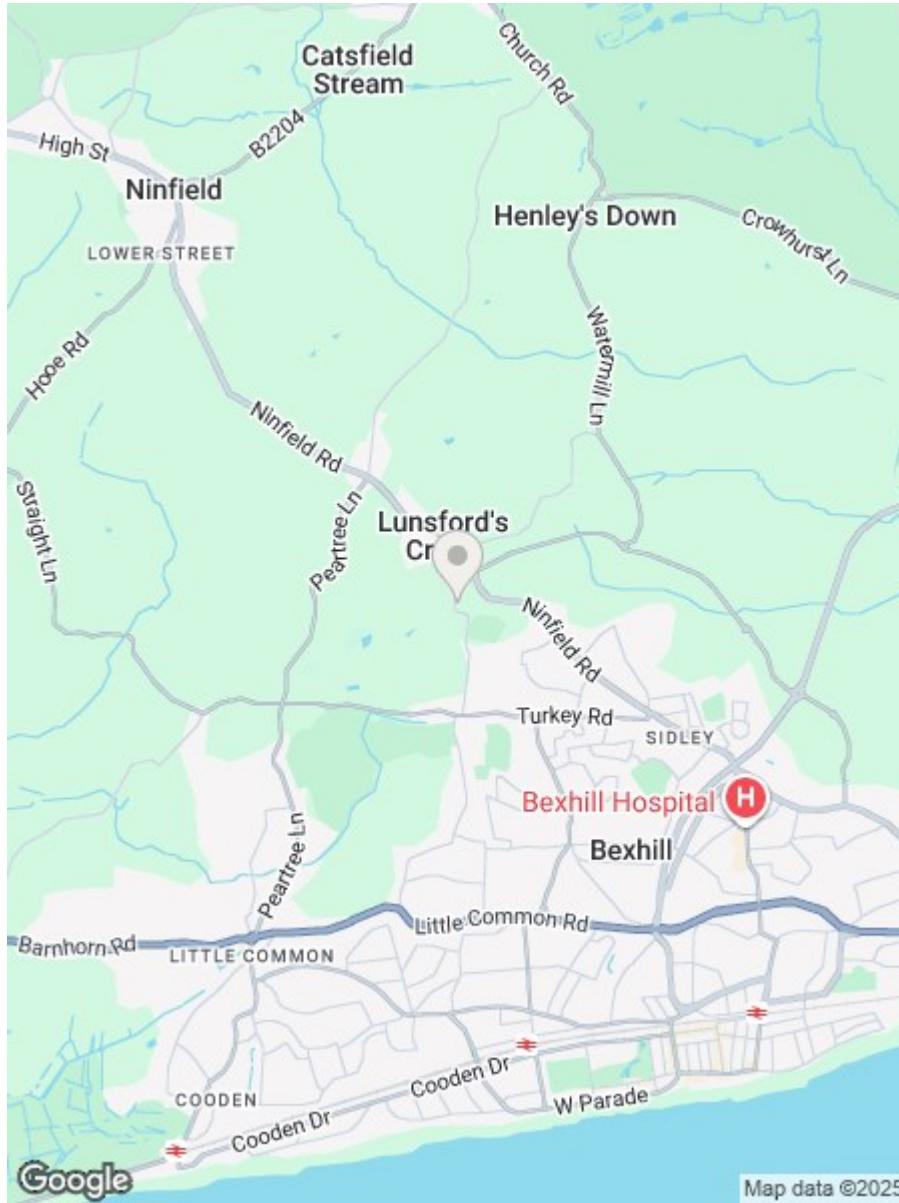
GROUND FLOOR
975 sq.ft. (90.6 sq.m.) approx.



1ST FLOOR
780 sq.ft. (72.4 sq.m.) approx.



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.



Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		94
(81-91) B		
(69-80) C		
(55-68) D	69	
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		EU Directive 2002/91/EC

Environmental Impact (CO ₂) Rating		
	Current	Potential
Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO ₂ emissions		
England & Wales		EU Directive 2002/91/EC